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Copy 1



This comprehensive inspection report demonstrates our detailed written summary and conclusions from a full investigation completed by our mold consultant.



Mold Inspection Report



TX

Prepared for Sample Client
Date of Inspection - Wednesday, June 20, 2018

Mold Inspection Sciences Texas, Inc.
Tel. 888.335.Mold (6653)
MoldInspectionTexas.com

MoldInspectionTexas.com

Section 1: Mold Inspection Information

Site Description and Scope of Project

Construction Type – Slab on grade, siding and rock veneer, composition roof, and drywall interior finish
Building Type – Single Family Home
Size – 3,000 square feet
Scope – Entire Home

Purpose, Limitations, and Inspector/Client Responsibilities

If any item or comment in this report is unclear, you should ask the inspector or project manager to clarify the findings. It is very important that you carefully read ALL of this information.

This Mold Assessment was subject to the Texas Mold Assessment and Remediation Rules (16 Tex. Admin. Code, Chapter 78), Administrative Rules of the Texas Department of Licensing and Regulation, see <https://www.tdlr.texas.gov/mld/mldrules110117.pdf>.

Mold Inspection Sciences Texas, Inc. (MISTX) performed a "limited" mold inspection at the subject property in accordance with the *TDLR Administrative Rules* and generally accepted professional practices. A Mold Assessment addresses only those building materials and conditions that are present, visible, and accessible at the time of the inspection. This report and associated conclusions are based on the visible conditions of the inspected areas and materials and information reported by the client. The inspector does not climb over obstacles, move furnishings or stored items, or go into any area that might present a safety hazard.

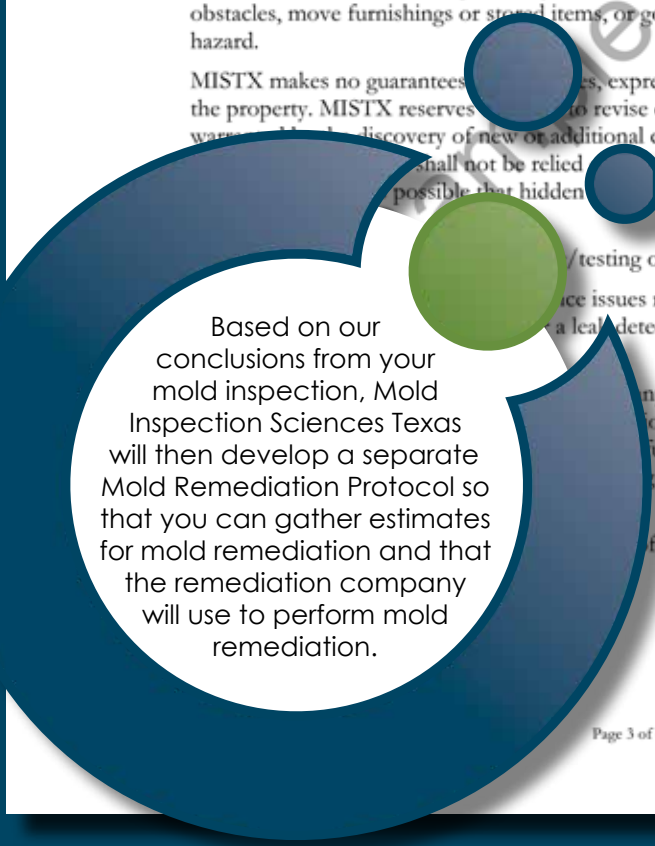
MISTX makes no guarantees, express or implied, regarding the condition of the property. MISTX reserves the right to revise opinions and conclusions if necessary and warrants that the discovery of new or additional circumstances. This report is specific and shall not be relied upon as a statement that no mold exists in this property. It is possible that hidden mold growth exists beyond the visibly accessible

/testing of asbestos materials or lead-based paint.

When mold or moisture issues may be noted in this report, this inspection is not a lead detection inspection, and the inspector is not

any party to make repairs or take other action on or moisture issues or wet materials noted in this report to prevent further damage of the structure. This service is provided to verify that proper corrections have been

of the client named above.



Based on our conclusions from your mold inspection, Mold Inspection Sciences Texas will then develop a separate Mold Remediation Protocol so that you can gather estimates for mold remediation and that the remediation company will use to perform mold remediation.

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Section 2: Observations and Readings

Areas/Issues Noted for Microbial Sampling

GARAGE [MS-1]

Mold-like growth was observed in this area.

Surface sample analysis can confirm the presence of mold and determine what type(s) of mold is/are growing on the material.

Client approved recommended surface sample, referenced as, DE1.
(Independent laboratory analysis attached)



Moisture Content: Dry

Area affected: ~50 SF

Suspected source(s)/
cause(s): Leak in
Bathroom above

Ceiling



GARAGE [MS-2]

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.



Moisture Content: Dry

Area affected: ~50 SF

Suspected source(s)/
cause(s): Leak in
Bathroom above

Ceiling

GARAGE BATHROOM
[West Side] [MS-3]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE2.
(Independent laboratory analysis attached)



Wall at HVAC supply

Moisture Content: Dry
Area affected: ~1 SF
Suspected source(s)/ cause(s): Condensation

LAUNDRY ROOM
[North Side] [MS-4]

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.

Client approved recommended air sample, referenced as, ST1.
(Independent laboratory analysis attached)



Behind washer

Moisture Content: Suspect
Humidity - this area: 92%
Humidity - Outdoor: 96%
Area affected: ~10 SF
Suspected source(s)/ cause(s): Leak at washer
** Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.*

The first step in any inspection is a discussion with you, the homeowner, about what your concerns are and where you think the issues are. Then your consultant will begin with the outside of the home; here, they are looking for any avenues for water to enter your home.

PANTRY [Ceiling] [MS-5]

Staining was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~10 SF

Suspected source(s)/
cause(s): Roof leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



PANTRY [MS-6]

Ceiling materials tested in this area indicated high moisture content.

This condition is an indicator of a water intrusion issue.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Full and limited property inspection service includes moisture readings, thermal imaging using top-of-the-line FLIR thermal imaging equipment (detects active leaks, missing insulation, duct maintenance issues) and hygrometer readings.

KITCHEN [MS-7]

Moisture damage was present in the cabinet below the sink.

This condition can indicate a present or past moisture intrusion issue. Any time water has infiltrated walls or under cabinetry, hidden mold growth is possible.

Client approved recommended air sample, referenced as, ST2. (Independent laboratory analysis attached)

Consider consulting a licensed professional for evaluation and repair.



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~10 SF

Suspected source(s)/ cause(s): Plumbing leak and/or spilled contents

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

KITCHEN [South Side] [MS-8]

Mold-like growth observed in this area.

Client approved recommended surface sample, referenced as, DE3. (Independent laboratory analysis attached)



Sink cabinet

Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 SF

Suspected source(s)/ cause(s): Condensation

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

All areas of potential moisture penetration will be reported, including areas where there have been plumbing leaks, roof leaks, flooding, and window leaks.

KITCHEN [Ceiling] [MS-9]

Staining was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/
cause(s): **Undetermined**

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

DINING ROOM [East Side] [MS-10]

Water damage and wet materials observed on window sill.

This condition may be an indicator of a moisture problem, which may be due to deteriorated exterior window caulking or brick mortar. Moisture can lead to microbial growth.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): **Water intrusion at window**

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



While some visible signs of potential mold include staining, discoloration, and water damage, not all indicators of mold can be seen or even smelled. That's why it is critical to get in touch with a professional who has the experience and tools to detect mold beyond the surface.

**DINING ROOM [East Side]
[MS-11]**

Water damage was observed on window sill.

This condition may indicate a moisture problem that could lead to microbial growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Water intrusion
at window

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

**DINING ROOM [South Side]
[MS-12]**

Wall materials tested in this area indicated high moisture content.

This condition is an indicator of a water intrusion issue.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Wall

Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Intrusion at
exterior door

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

**LIVING ROOM [Ceiling]
[MS-13]**

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.

Client approved recommended air sample, referenced as, ST4. (Independent laboratory analysis attached)



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Did you know that mold likes to grow where it's warm, dark, and wet? Did you also know it can begin to grow in as little as 24 hours? Our moisture and air quality audits are proven to detect the most likely places for mold growth, and even noticeable areas of moisture intrusion.

**LIVING ROOM [West Side]
[MS-14]**

Water damage was observed on window sill.

This condition may indicate a moisture problem that could lead to microbial growth.



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Window leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



**LIVING ROOM [West Side]
[MS-15]**

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as DE4.
(Independent laboratory analysis attached)



Wall below window

Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Window leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



Our scientific inspections and testing will let you see the data, clearly understand your results, and learn what to do next to get rid of your mold problem.

LIVING ROOM [West Side] [MS-16]

Wall materials tested in this area indicated high moisture content.

This condition is an indicator of a water intrusion issue.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Wall below window

Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Window leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

LIVING ROOM [MS-17]

Staining was observed around the supply register(s).

This can indicate excessive condensation in the HVAC system. Moisture can create an environment conducive to microbial growth.

Consider contacting a licensed HVAC professional for evaluation and repair.



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~<1 SF

Suspected source(s)/ cause(s): Condensation

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Sample Report

Not only does Mold Inspection Sciences Texas use special tools and instruments to take readings, but our consultants will walk you through what they are doing and communicate initial findings to you.

LIVING ROOM [MS-18]

Dust build-up and suspect mold growth were observed on HVAC supply vents and on the surrounding ceiling material.

The HVAC system distributes air throughout the house. For this reason, mold should not be growing in the system.

Client approved recommended surface sample, referenced as, DE5.
(Independent laboratory analysis attached)



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Condensation

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



GUEST BEDROOM [MS-19]

Water damage or staining was observed on the ceiling.



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Condensation

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Mold and moisture in your home or office may be responsible for your health problems. Protect your liability, property, and health by hiring a licensed professional who has expertise in identifying areas of risk or that may already be sick within your property.

**MASTER BEDROOM
[Ceiling] [MS-20]**

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.

Client approved recommended air sample, referenced as, ST6. (Independent laboratory analysis attached)



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 SF

Suspected source(s)/ cause(s): Roof leaks

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

**MASTER BEDROOM
[West Side] [MS-21]**

Water damage was observed on window sill.

This condition may indicate a moisture problem that could lead to microbial growth.



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Condensation

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Over the past 11 years, we've performed thousands of investigations for a variety of clients and structures. Our testing services will determine the type of mold in your property and how much of it you are breathing.

MASTER BEDROOM
[South Side] [MS-22]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE6.
(Independent laboratory analysis attached)



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Leak at window

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



MASTER BEDROOM
[South Side] [MS-23]

Window sill tested for moisture indicated elevated moisture content.

This condition may be an indicator of a moisture problem, which may be due to deteriorated exterior window caulking or brick mortar. Moisture can lead to microbial growth.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: Suspect

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s):

Why do you need to take action in identifying a potential mold issue? Because houses, like people, can become "sick" and infected. When concentrations become excessive, your property becomes harmful.

MASTER BEDROOM
[South Side] [MS-24]

Wall materials tested in this area indicated high moisture content.

This condition is an indicator of a water intrusion issue.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Wall below window

Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Leak at window

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

MASTER BATHROOM
[North Side] [MS-25]

Water damage and wet wall materials were observed at the base of the wall next to the shower.

These conditions are indicators of a plumbing leak and/or other moisture issue.

Client approved recommended air sample, referenced as, ST7. (Independent laboratory analysis attached)

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: **Suspect**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s): Leak at shower

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

A proper mold investigation requires both a mold inspection and testing. If you pay for sampling and not an inspection, you could be missing hidden moisture penetration that a consultant would detect with tools like a moisture meter or infrared technology.

MASTER BATHROOM
[North Side] [MS-26]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE7.
(Independent laboratory analysis attached)



Wall



Moisture Content: Suspect

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/
cause(s): Leak at shower

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Looking for a qualified mold inspection company? Ask for a sample report like this one from us. Our reports are comprehensive and easy to read with clear color photographs and information to help you solve your mold issues.

2018

MASTER BATHROOM
[West Side] [MS-27]

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.



Baseboard



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 SF

Suspected source(s)/ cause(s): Leak at shower

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

MASTER BATHROOM
[West Side] [MS-28]

Baseboard moisture
ture



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s): Leak at shower

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Did you know?
Mold assessment licenses awarded by the Texas Department of Licensing and Regulation require several years of field experience, state-mandated training courses, license certification exams, board approval, and renewal every two years. Ours are always up-to-date!

MASTER BATHROOM
[West Side] [MS-29]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE8.
(Independent laboratory analysis attached)



Behind baseboard

Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s): Leak at shower

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

MASTER CLOSET
[East Side] [MS-30]

Mold-like growth was observed in this area.

Client approved recommended air sample, referenced as, ST8.
(Independent laboratory analysis attached)



Baseboard and lower wall

Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s): Past leak at Water Heater

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

MASTER CLOSET
[East Side] [MS-31]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE9.
(Independent laboratory analysis attached)



Baseboard and lower wall

Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s):

Do you notice a musty or damp smell? Sometimes suspect conditions are noticed, but there are no visible signs. Our mold consultants will use moisture-detecting tools to help observe what's going on beneath the floors, inside the wall, or ceiling cavities.

GUEST BATHROOM
[North Side] [MS-32]

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.

Client approved recommended air sample, referenced as, ST9. (Independent laboratory analysis attached)



Baseboards

Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 LF

Suspected source(s)/ cause(s): Possible leak at shower/toilet

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



GUEST BATHROOM
[North Side] [MS-33]

Mold



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s): Possible leak at shower/toilet

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



We've been mentioning the importance of your health throughout this guide. So, how do you know if mold is impacting your health? Here are some common signs:

- Sore Throat
- Skin Rashes
- Eye Irritations
- Nagging Cough
- Sinus and Nasal Problems
- Difficulty Breathing

ENTRY [West Side] [MS-34]

Flooring materials tested in this area indicated high moisture content.

This condition is an indicator of a water intrusion issue.

Client approved recommended air sample, referenced as, ST10. (Independent laboratory analysis attached)

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~15 SF

Suspected source(s)/ cause(s): Leak at adjacent Guest Bathroom

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

ENTRY [West Side] [MS-35]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE11. (Independent laboratory analysis attached)



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/ cause(s): Leak at adjacent Guest Bathroom

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

ENTRY [West Side] [MS-36]



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 SF

Suspected source(s)/ cause(s): Leak at adjacent Guest Bathroom

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Did you know? You need licensed professional expertise from an inspection company like Mold Inspection Sciences Texas to discover and understand if you have a mold issue and what the next steps are.

ENTRY CLOSET
[South Side] [MS-37]

Wall materials tested in this area indicated high moisture content.

This condition is an indicator of a water intrusion issue.

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~3 SF

Suspected source(s)/ cause(s): Intrusion at exterior wall

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

ENTRY [North Side] [MS-38]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE12.

(Independent laboratory analysis attached)



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Intrusion at exterior wall

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Lower wall



In the market for a new home? Mold can just as easily be living in a potential property you're eyeing too.

ENTRY/ENTRY CLOSET
[North Side] [MS-39]

Water damage was observed.

Consider consulting with a licensed contractor to evaluate and repair.



Lower wall

Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Intrusion at
exterior wall

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

OFFICE [North Side]
[MS-40]

Actively wet building materials present in this area.

This condition indicates an active water intrusion issue.

Client approved recommended air sample, referenced as, ST11. (Independent laboratory analysis attached)



Wall and ceiling

Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 SF

Suspected source(s)/
cause(s): Roof leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

The moisture hunt is how we determine if the environment exists for mold to grow. You see, mold needs two primary things to grow: water and food. The water we can find with our moisture meters and other equipment; the food, well, that's the home itself. The primary sources of food for mold in your home are any carbon-based (and particularly any cellulose or wood-based) substances.

OFFICE [North Side] [MS-41]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, DE13.

(Independent laboratory analysis attached)



Moisture Content: **Wet**

Humidity - this area: 92%

Humidity - Outdoor: 96%

Area affected: ~2 SF

Suspected source(s)/
cause(s): Roof leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

- We mentioned what visible signs to look for, but there's even more. Take notice of:
- Leaky roofs, windows, pipes
 - Areas that may have been flooded
 - Humidity throughout the property
 - Proper ventilation in bathrooms, the laundry room, and kitchen area.

**OFFICE [North Side]
[MS-42]**

Staining/water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.



Wall



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~6 SF

Suspected source(s)/
cause(s): Roof leak

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

**2ND FLOOR EAST
BEDROOM
[East Side] [MS-43]**

Staining was observed on window sill.

This condition may indicate a moisture problem that could lead to mold growth.



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~<1 SF

Suspected source(s)/
cause(s): Condensation

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

When inspecting your property, our consultant will show you why each area investigated is vulnerable to mold, and how it has or could infiltrate the area.

**2ND FLOOR BATHROOM
[MS-44]**

Stained or water damaged flooring was observed in this area.

This condition is an indicator of a past or present water/moisture problem. Moisture on/under floors can lead to microbial growth.

Client approved recommended air sample, referenced as, ST13. (Independent laboratory analysis attached)



Moisture Content: **Dry**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~20 SF

Suspected source(s)/ cause(s): Leak at tub

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

**2ND FLOOR BATHROOM
[West Side] [MS-45]**

Water damage and wet wall materials were observed at the base of the wall next to the bathtub/shower.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/ cause(s): Overspray at tub/shower

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Did you know? Our company mission is to provide affordable, professional, and high-quality mold inspection and testing services to a wide variety of clients who are looking for proven solutions and peace of mind.

**2ND FLOOR BATHROOM
[North Side] [MS-46]**

**Moisture damage was observed
below the sink.**

This condition is an indicator of a past or present water intrusion issue. Any time water has infiltrated walls or under cabinetry, hidden mold growth is possible.



Moisture Content: Suspect

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Leak at drain

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.

Sample

Mold Inspection Sciences Texas provides mold inspection and testing results you can trust because of our proven, science-based services, backed by data to show exactly what's going on.

**2ND FLOOR SOUTH
BEDROOM**
[South Side] [MS-47]

Window sill tested for moisture indicated elevated moisture content.

This condition may be an indicator of a moisture problem, which may be due to deteriorated exterior window caulking or brick mortar. Moisture can lead to microbial growth.

Client approved recommended air sample, referenced as, ST14. (Independent laboratory analysis attached)

NOTICE: All wet materials should be dried out within 24-48 hours to prevent mold growth.



Moisture Content: **Wet**

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~1 SF

Suspected source(s)/
cause(s): Condensation or
window leak

* Humidity level for this area
is above the ASHRAE
recommended level for
habitable spaces. Preferable
level is between 30% and 60%.

Sample

ATTIC [MS-48]

Mold-like growth was observed in this area.

Some mold in attic spaces may be acceptable, because it is not a controlled environment. However, mold growth in an attic may be an indicator of or may confirm a mold and/or moisture issue.

Client approved recommended surface sample, referenced as, DE14.

(Independent laboratory analysis attached)

Sampling suspect mold growth in an attic is sometimes recommended. Excessive mold growth may need to be remediated, especially when it is suspected to be impacting the living spaces. See the Recommendations section below.



Wallboard



Moisture Content: Not Measured

Area affected: ~6 SF

Suspected source(s)/ cause(s): Possible HVAC overflow

Sample Report

Once the remediation is complete, we can perform a postinspection and testing for you. This ensures your mold problem has been resolved, and to a Certificate of Mold Damage Remediation is issued. The certification can be valuable when selling your home or business in the future.

WET BAR [Ceiling] [MS-49]

Water damage was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.

Client approved recommended air sample, referenced as, ST15. (Independent laboratory analysis attached)



Moisture Content: Dry

Humidity - this area: 92%
Humidity - Outdoor: 96%

Area affected: ~4 SF

Suspected source(s)/ cause(s): Possible HVAC overflow

* Humidity level for this area is above the ASHRAE recommended level for habitable spaces. Preferable level is between 30% and 60%.



ATTIC [MS-50]

Staining was observed in this area.

This condition may indicate a moisture intrusion problem. Moisture can lead to microbial growth.



Decking at HVAC unit

Moisture Content: Dry

Area affected: ~2 SF

Suspected source(s)/ cause(s): Condensation

ATTIC / HVAC [MS-51]

Mold-like growth was observed in this area.

Client approved recommended surface sample, referenced as, **DE15**.
(Independent laboratory analysis attached)



HVAC unit

Moisture Content: Not Measured

Area affected: ~4 SF

Suspected source(s)/ cause(s): Condensation

Don't forget,
we can
perform postinspection
and testing for you to
ensure your mold problem
has been solved, and the
mold is completely gone -
once remediation is
completed.

Mold Inspection Sciences Texas, Inc.
Tel. 888.335.Mold (6653)
MoldInspectionTexas.com

Areas/Issues Noted for Preventative Maintenance

**MASTER BATHROOM
/PLUMBING [PM-1]**

Corrosion, rust, or mineral deposits present, which indicate slow leaks.

This condition can lead to moisture intrusion within the structure and surrounding building materials.

This issue was noted for preventative maintenance purposes. Consider consulting a licensed plumber for evaluation and repair.



**MASTER BATHROOM
[PM-2]**

Crack(s) and/or void(s) in the tub/shower caulking and/or grout.

This condition can allow water to penetrate the walls around the tub/shower, which can lead to mold growth and water damage.

This issue was noted for preventative maintenance purposes. Consider consulting a licensed contractor for evaluation and correction or repair.



ATTIC / HVAC [PM-3]

The HVAC air handler appears to be in poor condition.

This issue was noted for preventative maintenance purposes. Consider consulting a licensed contractor for evaluation and correction or repair.



ATTIC / HVAC [PM-4]

Evidence of excess moisture/condensation below the system.

This issue was noted for preventative maintenance purposes. Consider consulting a licensed contractor for evaluation and correction or repair.



Rusty drain pan

Mold Inspection Sciences Texas consultants investigate the hard-to-reach places like the attic and crawl spaces.

ROOF [North Side] [PM-5]

Damaged or improper roof penetrations were observed.

Consider consulting a licensed professional for evaluation and repair.



ROOF [North Side] [PM-6]

Plants/trees are coming into contact with the roof.

Plants/trees excrete enzymes that can deteriorate building materials. In addition, they can trap water against the structure. This can create an environment conducive to microbial growth.

Consider trimming back trees/plants and removing any plants growing directly on the roof or house.



ROOF [PM-7]

Excessive amounts of debris were noted on the roof.

Debris can clog rain gutters and hold water on the roof allowing it to penetrate the structure. Water in a structure can lead to an environment conducive to microbial growth.

* This condition existed multiple times. Not all occurrences are shown. *

Consider contacting a licensed professional to remove the debris and include this task as a normal part of preventative maintenance.



EXTERIOR [PM-8]

Debris build-up in the gutters.

Build-up can cause pooling and overflow thus rendering the gutter system ineffective. Improperly functioning gutter systems can allow moisture to penetrate a structure which can lead to microbial growth.

* This condition existed multiple times. Not all occurrences are shown. *

Consider removing the debris and build-up from the gutters to ensure unrestricted flow of the gutter system.



Mold is found outdoors and indoors. It can enter your home in a variety of ways, but it thrives in places with a lot of moisture. Our consultant will do a walk-through and compile photographs and a written document of the findings as evidence.

EXTERIOR [PM-9]

Damage was observed in the gutters and/or downspouts.

This condition can result in leakage. Leakage can cause water intrusions.

* This condition existed multiple times. Not all occurrences are shown. *

Consider consulting a licensed contractor to repair or replace the damaged gutters/downspouts.



EXTERIOR [PM-10]

Splitting/bowing, water damaged and/or deteriorated siding materials were observed.

This condition can allow water to infiltrate the interior of the structure. It can also indicate present/past moisture intrusion.

* This condition existed multiple times. Not all occurrences are shown. *

This issue was noted for preventative maintenance purposes. Consider contacting a licensed contractor to assess the siding issue(s).



At Living Room window

ROOF [PM-11]

Damaged, missing, or improperly installed flashing was observed.

Roofing materials must be undamaged, present, and installed properly to prevent water intrusion into the structure.

* This condition existed multiple times. Not all occurrences are shown. *

Consider consulting a licensed professional for evaluation and repair.



Sample Report

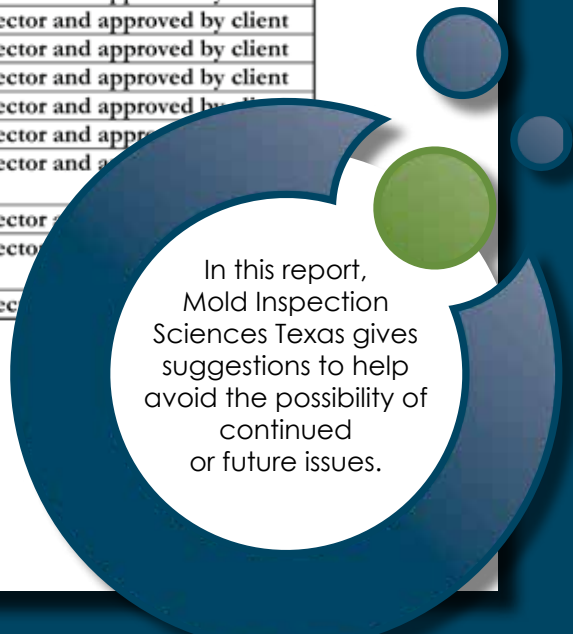
Section 3: Mold Samples

Currently, there are no generally accepted standards or government regulations for "normal" or "safe" airborne mold spore exposure levels. As such, spore counts are compared to a baseline, outdoor sample. In general, indoor spore counts should be statistically similar to the outdoor counts and proportionately similar in terms of spore types.

- If the indoor results are **statistically similar** to the outdoor results, we consider the airborne mold spore levels to be normal.
- When the airborne mold levels indoors are not statistically similar, the results may indicate an **indoor source** of mold, which is amplifying the airborne levels of one or more types of mold.
- If there are **water marker mold types (Stachybotrys, Chaetomium, Ulocladium, and Memnoniella)** present in an indoor air sample, this is usually a clear indicator of a moisture and mold concern in the area tested.
- When the indoor levels of one particular type of mold are **significantly higher** than the outdoor levels of the same mold type, this is usually a **clear indicator** of a mold concern in the area tested and may indicate or confirm the presence of a hidden source of mold growth.

Air Samples

| Lab Code | Location | Comments |
|----------|-------------------------|--|
| OS | Outdoor | Recommended by inspector and approved by client. |
| ST1 | Laundry Room | Recommended by inspector and approved by client |
| ST2 | Kitchen | Recommended by inspector and approved by client |
| ST3 | Dining Room | Recommended by inspector and approved by client |
| ST4 | Living Room | Recommended by inspector and approved by client |
| ST5 | Guest Bedroom | Recommended by inspector and approved by client |
| ST6 | Master Bedroom | Recommended by inspector and approved by client |
| ST7 | Master Bathroom | Recommended by inspector and approved by client |
| ST8 | Master Closet | Recommended by inspector and approved by client |
| ST9 | Guest Bathroom | Recommended by inspector and approved by client |
| ST10 | Entry | Recommended by inspector and approved by client |
| ST11 | Office | Recommended by inspector and approved by client |
| ST12 | 2nd Floor East Bedroom | Recommended by inspector and approved by client |
| ST13 | 2nd Floor Bathroom | Recommended by inspector and approved by client |
| ST14 | 2nd Floor South Bedroom | Recommended by inspector and approved by client |
| ST15 | Wet Bar | Recommended by inspector and approved by client |



In this report, Mold Inspection Sciences Texas gives suggestions to help avoid the possibility of continued or future issues.

Surface samples should be understood as either present or absent. It is not the amount of mold detected or not detected on a surface sample that indicates a concern, but whether or not mold growth is present. The EPA states that mold should not be growing inside a structure; therefore, when mold growth is found inside a structure, the goal should be to remove the mold and remedy the cause.

Surface Samples

| Lab Code | Location | Comments |
|----------|------------------------------|---|
| DE1 | Garage – Ceiling | Recommended by inspector and approved by client |
| DE2 | Garage Bathroom – West wall | Recommended by inspector and approved by client |
| DE3 | Kitchen – Sink cabinet | Recommended by inspector and approved by client |
| DE4 | Living Room – West wall | Recommended by inspector and approved by client |
| DE5 | Living Room – Ceiling | Recommended by inspector and approved by client |
| DE6 | Master Bedroom – South wall | Recommended by inspector and approved by client |
| DE7 | Master Bathroom – North wall | Recommended by inspector and approved by client |
| DE8 | Master Bathroom – West wall | Recommended by inspector and approved by client |
| DE9 | Master Closet – East wall | Recommended by inspector and approved by client |
| DE10 | Guest Bathroom – North wall | Recommended by inspector and approved by client |
| DE11 | Entry – West wall | Recommended by inspector and approved by client |
| DE12 | Entry – North wall | Recommended by inspector and approved by client |
| DE13 | Office – North wall | Recommended by inspector and approved by client |
| DE14 | Attic – Wallboard | Recommended by inspector and approved by client |
| DE15 | HVAC – Exterior of unit | Recommended by inspector and approved by client |

For detailed sample results, please see the attached

Our mold specialists take air samples, wall cavity air samples, and surface samples if needed to assess your current mold situation.*

*NOTE: Number and type of samples will vary depending on the issue present on your property.

Section 4: Methodologies

General Methodology

A mold assessment normally includes the following:

- Visual inspection and procedural assessment (non-destructive and non-invasive) focused on the discovery of signs of mold growth and moisture intrusion
- Use of a moisture meter to help locate areas of actively wet building materials and to test suspect areas
- Analytical analysis by collection of microbial samples requested by client and submission of samples to a licensed microbiology lab for analysis
- Provision of a written report of the limited mold inspection findings and, where applicable, a lab report of the sample analysis

Laboratory Services

Microbial samples collected by MISTX are submitted under chain of custody to a laboratory licensed by the state of Texas. If samples were collected, the laboratory's report is included as an attachment to this report.

Sampling Methodologies

Air Samples – Air sampling for total fungi is designed to count and identify the presence of total fungal material (i.e. cultureable and non-cultureable spores) in a measured volume of air. The air samples are collected via the spore trap method with the use of a Zefon Air-O-Cell. Airflow through the cassette is produced by an electrically powered air-sampling device set and calibrated to a flow rate of 15 liters per minute. The sample cassettes are then sealed and submitted to the laboratory via a chain of custody for analysis.

Wall/Ceiling Cavity Samples – Cavity samples are collected by drilling a small (1/4") hole into the drywall or other material, inserting a plastic tube into the hole through which an air sample is pulled. The cavity sample is collected using the same media and method as stated above for standard air sampling.

Surface Swab Samples – Surface swab samples are collected using sterile swabs enclosed in a plastic bag which contains a transport solution. These samples are collected by swabbing the suspect area with the swab and then sealing the bag. The swabs are then placed in sterile tubes, sealed, and submitted to the laboratory via a chain of custody for analysis.

Forensic Tape Lift Samples – Forensic tape lift samples are collected using a forensic tape lift kit. These samples are collected by applying the tape to the surface of a building material, peeling the tape off, and submitting it to the laboratory via a chain of custody for analysis.

Our air and surface samples are sent off to the lab so you will get 100% accurate results of what is or isn't growing in your home or building using Mold Inspection Sciences Texas scientific testing solutions.

Relative Humidity Readings

Relative humidity (RH) readings were obtained from both the interior and exterior of the property. The RH was measured and recorded to determine the potential effect it may have on microbial amplification.

Guidance on RH in occupied buildings is provided by the American Society of Heating, Refrigeration and Air-Conditioning Engineers (ASHRAE) in the ANSI/ASHRAE Standard 62-2001, *Ventilation for Acceptable Indoor Air Quality*. The RH in habitable spaces preferably should be maintained between 30% and 60% to minimize the growth of allergenic and pathogenic organisms (e.g., dust mites, fungi and associated mycotoxins).

Moisture Content Readings

A moisture meter was utilized on this project to measure the moisture content (MC) of certain building materials (walls, ceilings, flooring, etc.) throughout the structure, especially areas suspect of water intrusion. Measurement and recording of MC is performed to detect building materials containing unacceptable levels of moisture.

Fungal growth requires moisture, a food source, and fungal spores. Thus, wood and building materials that are continuously dry should not promote microbial growth. Construction materials with elevated MC are likely to promote fungal growth. It is recommended that the source of moisture be located and corrected immediately.

NOTE: When a moisture meter is used in a non-penetrating manner, it is possible to obtain a reading of "Red" even if there is no excessive moisture. This can occur when there are certain types of materials below the surface being measured; such as metal. Moisture readings should be used as a guide for further testing and investigation only.

Section 5: Applicable Regulations

Asbestos Containing Materials in Single Family Dwellings

Single family dwellings, that are to remain single family dwellings, do not fall under the definition of a “public building” or “commercial building” as defined in the Texas Asbestos Health Protection Rules (TAHPR). Therefore, TAHPR does not require suspect materials to be sampled prior to disturbance or removed. However, federal Occupational Safety and Health Administration (OSHA) and Environmental Protection Agency (EPA) regulations concerning asbestos do apply, and any contractor that will disturb the material must be advised that it contains asbestos. Materials such as sheet rock wall and ceiling systems, and flooring materials and mastics are just some examples of materials that could contain asbestos.

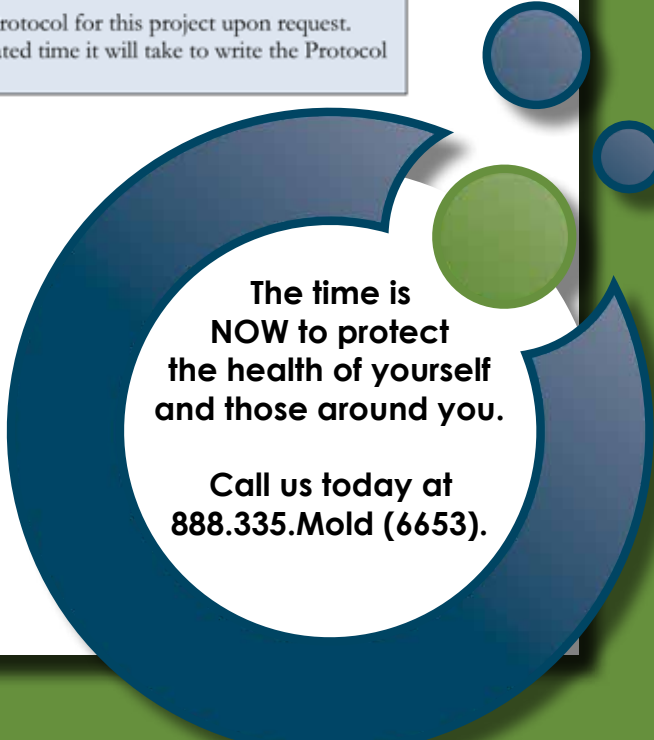
Texas Mold Regulations

Under the *Rules for Mold Assessors and Remediators, Administrative Rules* of the Texas Department of Licensing and Regulation, 16 Texas Administrative Code, Chapter 78 (Effective November 1, 2017), <https://www.tdlr.texas.gov/mld/mldrules110117.pdf>, all companies and individuals who perform mold-related activities must have the appropriate licensing from the TDLR. For more information about mold and the *Rules for Assessors and Remediators*, visit the TDLR website: <https://www.tdlr.texas.gov/mld/mldrules.htm>.

NOTICE: This Report is NOT A MOLD REMEDIATION PROTOCOL. If there is less than 25 contiguous square feet of visible mold growth, hiring a licensed Mold Remediation Contractor is not required by the Texas rules.

However: All licensed Mold Remediation Contractors must follow a Mold Remediation Protocol, and the Mold Remediation Contractor must follow all *Rules*. This includes developing a work plan which follows a Protocol developed by a licensed Mold Assessment Consultant,” per the *Rules*. A Mold Remediation Protocol is a detailed scope of work for the mold remediation work that is needed.

If desired, MISTX can write a Mold Remediation Protocol for this project upon request. Fees are based on the size of the project, the estimated time it will take to write the Protocol and manage the project.



**The time is
NOW to protect
the health of yourself
and those around you.**

**Call us today at
888.335.Mold (6653).**



Mold Inspection Sciences Texas, Inc.

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