

Mold Inspection Sciences



MOLD INSPECTION AND TESTING REPORT

CLIENT	Sample Client
PROPERTY ADDRESS	1234 Mold Inspection Lane
DATE OF INSPECTION	Thursday, May 17, 2018

SUMMARY AND CONCLUSIONS

Based on the findings of our visual assessment and the laboratory analysis of the samples collected, the recommendation for professional mold remediation of the Basement SE Room, Basement Hallway Closet and Crawlspace Closet area of the home is supported. The air samples collected were within "normal" tolerances. However, the air samples in the Basement SE Room and Crawlspace Closet showed the presence of "Marker" spore types (Stachybotrys), water damaged building materials were present in all three areas from a common water source and mold growth was confirmed in the Basement SE Room. Additional hidden mold growth is possible in all affected areas. See recommendations below.

Based on the findings of our visual assessment and the laboratory analysis of the samples collected, the recommendation for professional mold remediation of the Mechanical Room area of the home is supported. The air samples collected were within normal tolerances and the surface samples collected were negative for mold growth. However, mold growth was observed on actively wet and water damaged building materials. Additional hidden mold growth is possible. See recommendations below.

Based on the findings of our visual assessment and the laboratory analysis of the samples collected, the recommendation for professional mold remediation of the Attic area of the home is supported. The cross contamination samples collected were within normal tolerances. Therefore, mold growth is possible in the Attic area. Additional hidden mold growth is possible. See recommendations below.



This comprehensive inspection report demonstrates our detailed written summary & conclusions from a full investigation completed by our inspector.

Based on our visual inspection and concurrent lab samples, we did not detect a mold problem in the Laundry Room, Hall Bathroom, Closet Laundry or Garage Office areas of the home. No visible mold-like growth was observed, our collected air samples were within normal tolerances, and all building materials tested were dry. Hidden mold growth is always a possibility. Client may wish to have invasive exploration performed to definitively check for hidden mold growth. We've included invasive exploration information below.

Based on our visual inspection and concurrent lab samples, we did not detect a mold problem in the Master Bathroom area of the home. The surface sample collected at the Grout was negative for mold growth, our collected air sample was within normal tolerances, all building materials tested were dry and there were no signs of active moisture intrusion. Hidden mold growth is always possible.

GENERAL RECOMMENDATIONS

Engage a licensed professional to evaluate and repair, as necessary, the following items related to water intrusion:

- o GROUNDS - Vegetation in contact with exterior wall coverings; Unsealed penetrations in exterior wall coverings; Buckled weather stripping
- o BASEMENT SEWER - Previous leaks at Hall Bathroom Tub
- o BASEMENT HALL CLOSET - Previous leaks at Hall Bathroom Tub
- o CRAWL SPACE CLOSET - Previous leaks at Hall Bathroom Tub
- o BATHROOM - Inadequate shower water; Unsealed transitions / joints; Cracked grout conditions
- o KITCHEN - Liquid spills from laundry; Previous sink plumbing leak
- o HALL - Previous plumbing leaks; Active leak at water vessel
- o BATHROOM - Cracked grout conditions
- o BATHROOM - Tub overflow; Cracked grout conditions; Previous plumbing leaks / overflow at drip pan; Lack of floor drain
- o BATHROOM - Tub overflow at washer drain
- o BATHROOM - Sink / backsplash transition
- o BATHROOM - Plumbing leaks and/or spills; Cracked grout
- o BATHROOM - Plumbing leaks

Based on our conclusions from your inspection, Mold Inspection Sciences provides recommendations and next steps to solve issues found on your property. You will be able to present this document to your remediation company as a scope of work for repairs.

NOTE: FUTURE/CONTINUED MOLD GROWTH IS POSSIBLE IF MOISTURE INTRUSION ISSUES ARE NOT CORRECTED.

Engage a professional water restoration company to dry out, in accordance with the publication “IICRC S500 Standard and Reference Guide for Professional Water Damage Restoration”, the following areas:

- o MECHANICAL ROOM

RECOMMENDATIONS FOR PROFESSIONAL MOLD REMEDIATION

Remediation should be performed to the standards found in the publication “IICRC S520 Standard and Reference Guide for Mold Remediation”.

Room/Area	Location within Room/Area and/or Affected Materials
Basement SE Room, Basement Hallway Closet and Crawlspace Closet	Mold Impacted and Water Damaged Materials. The air samples collected in the Basement SE Room showed the presence of “Marker” spore types and mold growth was confirmed at the Basement SE Room (Framing and Cabinet). Additional hidden mold growth is possible. Work areas should be isolated with use of containment barriers. Negative air should be established with use of HEPA filtered negative air machines. All water damaged and/or mold impacted non-structural materials should be removed (drywall, baseboards/trim, cabinetry, insulation, etc...). Any water damaged and/or mold impacted structural materials should be properly HEPA vacuumed, scrubbed/cleaned, and then HEPA vacuumed again. Entire work area should be HEPA vacuumed and wet wiped. HEPA air filtration should run for a minimum of 24 hours after the work is complete. If during removal additional mold sources/water damage is noted, remediation/removal should continue until 12” past the last impacted area wherever feasible.
	Mold Impacted and Water Damaged Materials. Mold growth was confirmed at the Drywall, and additional hidden mold growth is possible. Work area should be isolated with use of containment barriers. Negative air should be established with use of HEPA filtered negative air machines. All water damaged and/or mold impacted non-structural materials should be

In this report, Mold Inspection Sciences gives suggestions to help avoid the possibility of continued or future issues.

	removed (drywall, baseboards/trim, wood paneling, insulation, etc...). Any water damaged and/or mold impacted structural materials should be properly HEPA vacuumed, scrubbed/cleaned, and then HEPA vacuumed again. Entire work area should be HEPA vacuumed and wet wiped. HEPA air filtration should run for a minimum of 24 hours after the work is complete. If during removal additional mold sources/water damage is noted, remediation/removal should continue until 12" past the last impacted area wherever feasible.
Attic	Mold Impacted and Water Damaged Materials. Mold growth was confirmed at the Framing, and additional hidden mold growth is possible. Work area should be isolated with use of containment barriers. Negative air should be established with use of HEPA filtered negative air machines. All insulation should be removed. All water damaged and/or mold impacted non-structural materials should be removed (vapor barrier plastic, etc...). Any water damaged and/or mold impacted structural materials should be properly HEPA vacuumed, scrubbed/cleaned, and then HEPA vacuumed again. Entire work area should be HEPA vacuumed and wet wiped. HEPA air filtration should run for a minimum of 24 hours after the work is complete. If during removal additional mold sources/water damage is noted, remediation/removal should continue until 12" past the last impacted area wherever feasible.

Hidden mold growth is possible in the areas listed in the table below. Consider engaging a mold remediation professional or other qualified professional to perform exploration in these areas. If mold growth is found inside a wall or ceiling, under/behind cabinetry, all affected materials should be removed according to S520. Proper engineering controls should be used to prevent the spread of spores during the exploration.

Room/Area	Location within Room/Area
Laundry Room	Hidden mold growth is possible under/behind cabinetry and/or within the wall cavities.
Hall Bathroom	Hidden mold growth is possible under/around the cabinetry, within wall cavities and/or in association with tile.
Closet Laundry	Hidden mold growth is possible within the closet.

Mold Inspection Sciences inspectors investigate the hard-to-reach places like the attic and crawl spaces.

	and/or in association with the flooring materials.
Garage Office	Hidden mold growth is possible under/around the cabinetry and/or within the wall cavities.

After the mold remediation is complete, but before new building materials are installed, the remediation project should be inspected, tested, and approved by Mold Inspection Sciences.

AIR SAMPLES

Lab Code	Location	Conclusion (Inside vs. Outside Ratio)	Comments
OS	Outdoor	Baseline	Recommended by inspector and requested by client.
ST1	Basement SE Room	Normal Tolerances <i>Special Note: Stachybotrys (13/<13)</i>	Recommended by inspector and approved by client
ST2	Basement Hallway Closet	Normal Tolerances	Recommended by inspector and approved by client
ST3	Crawlspace Closet	Normal Tolerances <i>Special Note: Stachybotrys (27/<13)</i>	Recommended by inspector and approved by client
ST4	Master Bathroom	Normal Tolerances	Recommended by inspector and approved by client
ST5	Laundry Room	Normal Tolerances	Recommended by inspector and approved by client
ST6	Mechanical	Normal Tolerances	Recommended by inspector and approved by client
		Normal Tolerances	Recommended by inspector and approved by client
		Normal Tolerances	Recommended by inspector and approved by client
		Normal Tolerances	Recommended by inspector and approved by client
		Normal Tolerances	Recommended by inspector and approved by client

Our mold specialists take air samples, wall cavity air samples, and surface samples if needed to assess your current mold situation.*

*NOTE: Number and type of samples will vary depending on the issue present on your property.

	Comments
spore type, ID	Recommended by inspector and approved by client

	(Framing)		
DE2	Basement SE Room (Cabinet)	Mold Growth: Aspergillus species	Recommended by inspector and approved by client
DE3	Master Bathroom (Shower Grout)	No mold growth on our collected sample	Recommended by inspector and approved by client
DE4	Mechanical Room (Wood Paneling)	No mold growth on our collected sample	Recommended by inspector and approved by client
DE5	Mechanical Room (Drywall)	Mold Growth: Stachybotrys species	Recommended by inspector and approved by client
DE6	Attic (Framing)	Mold Growth: Yeasts	Recommended by inspector and approved by client

For additional detailed information on the sample results, please see the independent laboratory report included with this inspection report.

SAMPLE REPORT



Our air and surface samples are sent off to the lab so you will get 100% accurate results of what is or isn't growing in your home or building with Mold Inspection Sciences scientific testing solutions.

APPENDIX I

INSPECTION PHOTOS AND COMMENTS

GROUNDS [Southwest Corner]

Soil levels too high or inconsistent around exterior of structure.



The landscaping materials are in contact with the stucco wall coverings.

Area affected: ~6 Linear Ft

Suspected source(s) of water intrusion:
Vegetation in contact with exterior wall coverings

GROUNDS [Southwest Corner]

Staining, discoloration, and/or visible signs of water damage were observed.



staining at the stucco wall

Suspected source(s) of water intrusion:
Vegetation in contact with exterior wall coverings

Mold is found outdoors and indoors. It can enter your home in a variety of ways, but it thrives in places with a lot of moisture. Our inspector will do a walk-through and compile photographs and a written document of the findings as evidence.



landscaping materials are in contact with the stucco wall coverings.

Suspected source(s) of water intrusion:
Vegetation in contact with exterior wall coverings

GROUNDS [South Side]

Openings/cracks in exterior walls were observed.



Unsealed penetration at HVAC lines.

Suspected source(s) of water intrusion: Unsealed penetrations in exterior wall coverings

GROUNDS [South Side]

Openings/cracks in exterior walls were observed.



Unsealed penetration at HVAC lines.

Suspected source(s) of water intrusion: Unsealed penetrations in exterior wall coverings

GROUNDS [East Side]

Openings/cracks in exterior walls were observed.



Unsealed penetration at hose spigot.

Suspected source(s) of water intrusion: Unsealed penetrations in exterior wall coverings

The first step in any inspection is a discussion with you, the homeowner, about what your concerns are and where you think the issues are. Then, your inspector will begin with the outside of the home; here they are looking for any avenues for water to enter your home.



Buckled weather stripping at patio door.

Suspected source(s) of water intrusion: Buckled weather stripping

GROUNDS [North Side]

Soil levels too high or inconsistent around exterior of structure.



The landscaping materials are in contact with the stone wall coverings.

Suspected source(s) of water intrusion:
Vegetation in contact with exterior wall coverings.

GROUNDS [North Side]

Openings/cracks in exterior walls were observed.



Unsealed penetration at vent.

Suspected source(s) of water intrusion: Unsealed penetrations in exterior wall coverings.

GROUNDS [North Side]

Openings/cracks in exterior walls were observed.



Unsealed penetration at equipment lines.

Suspected source(s) of water intrusion: Unsealed penetrations in exterior wall coverings.

All areas of potential moisture penetration will be reported, such as places where there have been leaks, flooding, around windows, or pipes.

BASEMENT SE ROOM [West Side]

Client stated previous water intrusion affected this area.



Moisture Content: Dry

Humidity - this area: 32%
Humidity - Outdoor: 26%

Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

The client reported previous water intrusion and mold growth in this area. The leak originated from the Hall Bathroom tub above. The drywall was reportedly removed within 24 hours of the water loss.

BASEMENT SE ROOM [West Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Moisture Content: Dry

Humidity - this area: 32%
Humidity - Outdoor: 26%

Area affected: ~Spread over 40 Sq Ft

Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

Water staining at the framing materials.

Full and limited property inspection service includes moisture readings, thermal imaging using the top of the line FLIR thermal imaging equipment (detects active leaks, missing insulation, duct maintenance issues) and hygrometer readings.



Moisture Content: Dry

Humidity - this area: 32%
Humidity - Outdoor: 26%

Area affected: ~Spread over 40 Sq Ft

Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

Water staining at the framing materials.

While some visible signs of mold include staining, discoloration, and water damage, not all indicators of mold can be seen or even smelled. That's why it is critical to get in touch with a professional that has the experience and tools to detect mold beyond the surface.



Water staining at the framing materials.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~Spread over 40 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub



Water staining at the cabinet materials.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~2 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

BASEMENT SE ROOM [West Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the cabinet materials.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~2 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

BASEMENT SE ROOM (FRAMING) [West Side]

Suspect mold-like growth was observed.



Mold-like growth at the Wall Framing.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~1 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

BASEMENT SE ROOM (FRAMING)
[Ceiling Corner]

Suspect mold-like growth was observed.



Mold-like growth at the Ceiling Framing.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~1 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

BASEMENT SE ROOM (CABINET)
[South Side]

Suspect mold-like growth was observed.

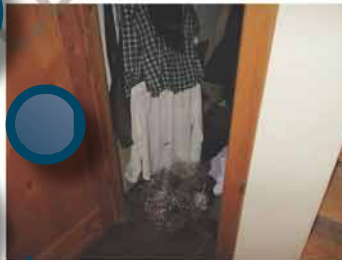


Mold-like growth at the Upper Cabinets, previously removed from the ceiling area.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~1 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

BASEMENT HALLWAY CLOSET
[Southeast Corner]

8... for visible... were observed.



The Closet back up to the previously affected Basement SE Room.

Moisture Content: Dry
Humidity - this area: 31%
Humidity - Outdoor: 26%
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

Did you know that mold likes to grow where it's warm, dark, and wet? Did you also know it can be seen in as little as 24 hours? Our moisture and air quality audits are proven to detect the most likely places for mold growth. Even noticeable areas of moisture intrusion.

BASEMENT HALLWAY CLOSET [Southeast Corner]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the Baseplate common to the Closet / Basement SE Room.

Moisture Content: Dry
Humidity - this area: 31%
Humidity - Outdoor: 26%
Area affected: ~<1 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

CRAWLSPACE CLOSET [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the framing / wall common to the Basement SE Room.

Moisture Content: Dry
Humidity - this area: 31%
Humidity - Outdoor: 26%
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

CRAWLSPACE CLOSET [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the framing / wall.

Moisture Content: Dry
Humidity - this area: 31%
Humidity - Outdoor: 26%
Area affected: ~4 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

Our scientific inspections and testing will let you see the data, clearly understand your results, and learn what to do next to get rid of your mold problem.

CRAWLSPACE CLOSET [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the framing / wall.

Moisture Content: Dry
Humidity - this area: 31%
Humidity - Outdoor: 26%
Area affected: ~4 Sq Ft
Suspected source(s) of water intrusion: Previous leaks at Hall Bathroom Tub

MASTER BATHROOM [North Side]

Suspect mold-like growth was observed.



Mold-like growth was observed in the Master Shower.

Moisture Content: Dry
Humidity - this area: 29%
Humidity - Outdoor: 26%

MASTER BATHROOM (SHOWER GROUT) [Northwest Corner]

Suspect mold-like growth was observed.



Mold-like growth at the Shower

Moisture Content: Dry
Humidity - this area: 29%
Humidity - Outdoor: 26%
Area affected: ~2 Linear Ft
Suspected source(s) of water intrusion: Incidental

Not only does Mold Inspection Sciences use special tools and instruments to take readings, but our inspectors will walk you through what they are doing and communicate initial findings to you.

MASTER BATHROOM [Northwest Corner]

Caulking around toilets, sinks, tubs, and/or showers is in poor condition.



Unsealed penetration at shower seat / wall transition.

Moisture Content: Dry
Humidity - this area: 29%
Humidity - Outdoor: 26%
Area affected: ~2 Linear Ft
Suspected source(s) of water intrusion: Unsealed transitions / penetrations

MASTER BATHROOM [Southwest Corner]

Caulking around toilets, sinks, tubs, and/or showers is in poor condition.



Unsealed penetration at shower seat / wall transition.

Moisture Content: Dry
Humidity - this area: 29%
Humidity - Outdoor: 26%
Area affected: ~2 Linear Ft
Suspected source(s) of water intrusion: Unsealed transitions / penetrations

MASTER BATHROOM [Southwest Corner]

Cracked, broken, loose, and/or missing grout around shower pan.



Cracked grout conditions in Shower.

Moisture Content: Dry
Humidity - this area: 29%
Humidity - Outdoor: 26%
Area affected: ~Multiple Areas
Suspected source(s) of water intrusion: Cracked grout conditions

Mold and moisture in your home or office may be responsible for your health problems. Protect your liability, property, and health by hiring a certified professional that has expertise in identifying areas of risk or that may already be sick within your property.

MASTER BATHROOM [Northeast Corner]

Cracked, broken, loose, and/or missing grout was observed.



Cracked grout conditions at Tub area.

Moisture Content: Dry
Humidity - this area: 29%
Humidity - Outdoor: 26%
Area affected: ~Multiple Areas
Suspected source(s) of water intrusion: Cracked grout conditions

LAUNDRY ROOM [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining behind the washing machine and under the sink cabinet.

Moisture Content: Dry
Humidity - this area: 27%
Humidity - Outdoor: 26%

LAUNDRY ROOM [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at surface of wall behind washing machine.

Moisture Content: Dry
Humidity - this area: 27%
Humidity - Outdoor: 26%
Area affected: ~4 Sq Ft
Suspected source(s) of water intrusion: Incidental spills from laundry

Over the past 16 years, we've performed thousands of investigations for a variety of clients and structures. Our testing services will determine the type of mold in your property and how much of it you are breathing.

LAUNDRY ROOM [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the cabinet base below the sink.

Moisture Content: Dry
Humidity - this area: 27%
Humidity - Outdoor: 26%
Area affected: ~1 Sq Ft
Suspected source(s) of water intrusion: Previous sink plumbing leak

MECHANICAL ROOM [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining and mold-like growth were observed.

Moisture Content: Dry
Humidity - this area: 28%
Humidity - Outdoor: 26%
Suspected source(s) of water intrusion: Previous plumbing leaks

MECHANICAL ROOM [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the floor materials.

Moisture Content: Dry
Humidity - this area: 28%
Humidity - Outdoor: 26%
Area affected: ~5 Linear Ft
Suspected source(s) of water intrusion: Previous plumbing leaks

Why do you need to take action in identifying a potential mold issue? Because houses, like people, can become "sick" and infected. When concentrations become excessive, your property becomes harmful.

MECHANICAL ROOM [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the floor and wall materials.

Moisture Content: Dry
Humidity - this area: 28%
Humidity - Outdoor: 26%
Area affected: ~5 Linear Ft
Suspected source(s) of water intrusion: Previous plumbing leaks

MECHANICAL ROOM (WOOD PANELING) [East Side]

Suspect mold-like growth was observed.



Mold-like growth at the Wall Paneling.

Moisture Content: Dry
Humidity - this area: 28%
Humidity - Outdoor: 26%
Area affected: ~2 Sq Ft
Suspected source(s) of water intrusion: Previous plumbing leaks

MECHANICAL ROOM [West Side]

Floor material is actively wet and retaining moisture.



Standing water from the water

Moisture Content: Wet
Humidity - this area: 28%
Humidity - Outdoor: 26%
Area affected: ~6 Sq Ft

A proper mold investigation requires both a mold inspection and testing. If you pay for sampling and not an inspection, you could be missing hidden moisture penetration that an inspector would detect with tools like a moisture meter or infrared technology.

MECHANICAL ROOM [North Side]

Floor material is actively wet and retaining moisture.



Standing water at the floor originating from the water vessel.

Moisture Content: Wet
Humidity - this area: 28%
Humidity - Outdoor: 26%
Area affected: ~6 Sq Ft
Suspected source(s) of water intrusion: Active leak at water vessel

MECHANICAL ROOM (DRYWALL) [Southwest Corner]

Suspect mold-like growth was observed.



The water is tracking to the back wall, mold-like growth observed below the cover base.

Moisture Content: Wet
Humidity - this area: 28%
Humidity - Outdoor: 26%
Area affected: ~<1 Sq Ft Visible
Suspected source(s) of water intrusion: Active leak at water vessel

BATHROOM



Mold-like growth on grout conditions in Shower.

Moisture Content: Dry
Humidity - this area: 26%
Humidity - Outdoor: 26%
Area affected: ~4 Linear Ft

Looking for a qualified mold inspection company? Ask for a sample report like this one from us. Our reports are comprehensive and easy to read with clear color photographs and information to help you solve your mold issues.

BASEMENT BATHROOM
[Northwest Corner]

Cracked, broken, loose, and/or missing grout was observed.



Cracked grout conditions in Shower.

Moisture Content: Dry
Humidity - this area: 26%
Humidity - Outdoor: 26%
Area affected: ~4 Linear Ft
Suspected source(s) of water intrusion: Cracked grout conditions

HALL BATHROOM [South Side]

Client stated previous water intrusion affected this area.



The client reported that the water loss that affected the Basement SE Room originated from the tub area while it was in use.

Moisture Content: Dry
Humidity - this area: 25%
Humidity - Outdoor: 26%
Suspected source(s) of water intrusion: Previous tub overflow

HALL BATHROOM [West Side]

Cracked, broken, loose, and/or missing grout was observed.



Cracked grout conditions in Shower.

Moisture Content: Dry
Humidity - this area: 25%
Humidity - Outdoor: 26%
Area affected: ~3 Linear Ft
Suspected source(s) of water intrusion: Cracked grout conditions

Do you notice a musty or damp smell? Sometimes our inspectors notice suspect conditions but see no signs of the odor-causing culprit until the inspector goes beneath the floors, walls, or ceiling.

HALL BATHROOM [Southwest Corner]

Cracked, broken, loose, and/or missing tiles in fixtures were observed.



Cracked grout conditions outside of shower.

Moisture Content: Dry
Humidity - this area: 25%
Humidity - Outdoor: 26%
Area affected: ~3 Linear Ft
Suspected source(s) of water intrusion: Cracked grout conditions

HALL BATHROOM [West Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Surface staining at the cabinet base below sink.

Moisture Content: Dry
Humidity - this area: 25%
Humidity - Outdoor: 26%
Area affected: ~2'x 2'
Suspected source(s) of water intrusion: Previous sink plumbing leaks and/or spills

ATTIC [Ceiling Corner]

and/or visible signs of water damage were observed.



Staining at roof sheathing. Also, insulation in this bay.

Moisture Content: Dry
Humidity - this area: 30%
Humidity - Outdoor: 26%
Area affected: ~2 Sq Ft
Suspected source(s) of water intrusion: Previous roof leaks

Did you know?
You need certified professional expertise from an inspection company like Mold Inspection Sciences to discover and understand if you have a mold issue and what the next steps are.

ATTIC [North Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the vapor barrier, this is believed to be the Master Shower ceiling.

Moisture Content: Dry
Humidity - this area: 30%
Humidity - Outdoor: 26%
Area affected: ~20 Sq Ft
Suspected source(s) of water intrusion: Previous plumbing leaks / overflow at drip pan

ATTIC [Northwest Corner]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the framing and vapor barrier.

Moisture Content: Dry
Humidity - this area: 30%
Humidity - Outdoor: 26%
Area affected: ~20 Sq Ft
Suspected source(s) of water intrusion: Previous plumbing leaks / overflow at drip pan

ATTIC [Southwest Corner]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the framing.

Moisture Content: Dry
Humidity - this area: 30%
Humidity - Outdoor: 26%
Area affected: ~2 Linear Ft Visible
Suspected source(s) of water intrusion: Previous plumbing leaks / overflow at drip pan

The moisture hunt is how we determine if the environment exists for mold to grow. You see, mold needs two primary things to grow, water and food. The water we can find with our moisture meters and other equipment; the food, well, that's the home itself. The primary sources of food for mold in your home are any carbon-based (and particularly any cellulose, or wood-based) substance.

ATTIC [North Side]

Corrosion, rust, and/or leaks were observed.



Corrosion and rust at equipment drain pan. It appears as if this overflowed at times and caused the water damage.

Moisture Content: Dry

Humidity - this area: 30%
Humidity - Outdoor: 26%

Suspected source(s) of water intrusion: Previous plumbing leaks / overflow at drip pan

ATTIC [Southeast Corner]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the framing and vapor barrier.

Moisture Content: Dry

Humidity - this area: 30%
Humidity - Outdoor: 26%

Area affected: ~20 Sq Ft

Suspected source(s) of water intrusion: Previous plumbing leaks / overflow at drip pan

ATTIC [Ceiling Corner]

Improper installation of insulation was observed.



Missing insulation at roof.

Moisture Content: Dry

Humidity - this area: 30%
Humidity - Outdoor: 26%

Area affected: ~2 Bays

Suspected source(s) of water intrusion: Lack of insulation

When inspecting your property, our inspector will show you why each area investigated is vulnerable to mold, and how it has or could infiltrate the area.

CRAFT ROOM [North Side]

Possible cross contamination from the affected Attic.



Possible cross contamination from the Attic.

Moisture Content: Dry
Humidity - this area: 30%
Humidity - Outdoor: 26%

CLOSET LAUNDRY [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the wall behind the washing machine.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%

CLOSET LAUNDRY [South Side]

and/or visible signs of water damage were observed.



Water staining at the wall behind the washing machine.

Moisture Content: Dry
Humidity - this area: 32%
Humidity - Outdoor: 26%
Area affected: ~3 Linear Ft
Suspected source(s) of water intrusion: Previous overflow at washer drain

Mold Inspection Sciences provides mold inspection and testing results you can trust because of our proven science-based services backed with data to show exactly what's going on.

CLOSET LAUNDRY [South Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the wall behind the washing machine.

Moisture Content: Dry

Humidity - this area: 32%
Humidity - Outdoor: 26%

Area affected: ~3 Linear Ft

Suspected source(s) of water intrusion: Previous overflow at washer drain

KITCHEN [West Side]

Caulking around toilets, sinks, tubs, and/or showers is in poor condition.



Cracked grout conditions behind sink.

Moisture Content: Dry

Humidity - this area: 30%
Humidity - Outdoor: 26%

Suspected source(s) of water intrusion: Lack of caulking at counter / backsplash transition

GARAGE [West Side]

and/or visible



staining at the cabinet base below

Moisture Content: Dry

Humidity - this area: 26%
Humidity - Outdoor: 26%

Suspected source(s) of water intrusion: Previous sink plumbing leaks and/or spills

We do not perform mold remediation. It is a conflict of interest for a mold company to perform the inspection and the remediation. We will recommend next steps to secure proper mold removal, and we can recommend 3rd party remediation contractors.

GARAGE OFFICE [West Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining at the cabinet base below sink.

Moisture Content: Dry
Humidity - this area: 26%
Humidity - Outdoor: 26%
Area affected: ~2 Sq Ft
Suspected source(s) of water intrusion: Previous sink plumbing leaks and/or spills

GARAGE OFFICE [West Side]

Cracked, broken, loose, and/or missing grout was observed.



Cracked grout conditions behind sink.

Moisture Content: Dry
Humidity - this area: 26%
Humidity - Outdoor: 26%
Area affected: ~1 Linear Ft
Suspected source(s) of water intrusion: Cracked grout conditions

GARAGE ATTIC [East Side]

Staining, discoloration, and/or visible signs of water damage were observed.



Water staining on the floor.

Moisture Content: Dry
Humidity - this area: 26%
Humidity - Outdoor: 26%
Area affected: ~3'x 2'
Suspected source(s) of water intrusion: Previous plumbing leaks

Once the remediation is complete, we can perform a post inspection and testing for you to ensure your mold problem has indeed been solved and the mold is completely gone.

Mold

Inspection Sciences

Mold Inspection Sciences, Inc.

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